



2.927 ACRES OUT OF SECTION 30  
DOC. NO. 1997025839  
(D.R.N.C.T.)

(N 44° 30' 34" E 523.64')

8.033 ACRES OUT OF 11.22 ACRES  
GEORGE TREVINO, ET UX.  
DOCUMENT No. 979569  
(D.R.N.C.T.)

UTILITY EASEMENT IS 5' EAST OF R.O.W.  
FILE NO. 64442,  
VOL. 194, PAGE 187  
(D.R.N.C.T.)

40' ROAD BEING USED AS A DRAINAGE DITCH

60.078 ACRES  
VOL. 1796, PG. 301  
(D.R.N.C.T.)  
(FLORENCE GALLAGER RUEGG)

COUNTY ROAD 73  
(40' R.O.W.)

(N 00° 26' 57" W 760.22')

DIRT DRIVE

(S 00° 27' 42" E 1130.56')

37.50 ACRES  
VOL. 2193, PG. 572  
(D.R.N.C.T.)  
(SALVADOR & RUTH MAGANA)

WATER WELL

DIRT & ROCK DRIVE

ONE STORY FRAME HOUSE  
60.3' x 27.4'

COV. CONC. PORCH  
(3) 1.0' CONC. STEPS  
CONC. WALK  
(4) 1.0' X 3.5' CONC. STEPS

ONE STORY FRAME HOUSE  
32.2' x 28.3'

COV. WOOD PORCH  
(2) 0.9' X 4.0' CONC. STEPS

SET 5/8" I.R.

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(S 89° 31' 12" W 370.25')

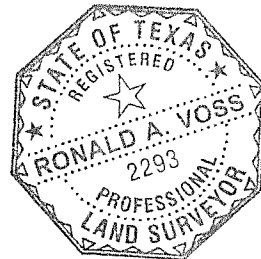
20' U.E. & ACCESS EASMENT  
DOC. #1997010563 (O.P.R.N.C.T.)

3994 COUNTY ROAD 36  
(60' R.O.W.)

I, Ronald A. Voss, a Registered Professional Land Surveyor, do hereby certify that this survey was made on the ground of the property shown hereon under my direction and supervision; that it is my knowledge and belief; that there are no apparent encroachments or overlapping of improvements with the deed lines except as shown hereon. This Survey was performed with the benefit of a Title Policy or Title Opinion.

NOTE: THIS SURVEY IS FOR THE SOLE USE OF THE BUYER, SECURITY TITLE COMPANY, OR MORTGAGE COMPANY IN THIS TRANSACTION ONLY. NO LICENSE HAS BEEN CREATED, EXPRESSED OR IMPLIED, TO COPY THE SURVEY, WHICH IS VOID AFTER SIX MONTHS FROM THE DATE OF THIS SURVEY.

BUYER: CARLOS F. MELICK & MARY T. MELICK



NOTES:  
(1.) Found 5/8" I.R. @ all lot corners unless noted otherwise.  
(2.) House Ties are to the foundation.  
(3.) Bearings are based on NAD83-2011 Texas South 4205 Coordinate System.

This property lies within Zone AE (77.8), according to FIRM 2022, which is within the 100 year Flood Plain.

*MVA 4/4/24*  
Registered Professional Land Surveyor State of Texas No. 2293

DATE: 02/23/2024  
REVISION: 04/02/2024  
CREW: RS & CM  
OFFICE: RV & PP  
GF#: 235008900  
JOB#: 24-3765

8.033 Acres out of 11.22 acres, George Trevino, et ux.  
Document No. 979569 (D.R.N.C.T.)  
Robstown, Nueces County, Texas

**KEY:**  
WOOD FENCE  
[RECORDED] WIRE FENCE  
(MEASURED) VINYL FENCE

**VOSS ENGINEERING, INC.**

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